

ENVIRONMENTAL REVIEW COMMITTEE REPORT

ERC MEETING DATE:	May 17, 2010		
Project Name:	Wonderland Estates Utility Replacement		
Owner:	King County Housing Authority, 600 Andover Park West, Seattle, WA 98188		
Applicant:	Hugh Watkinson, KCHA Construction Coordinator, King County Housing Authority, 600 Andover Park West, Tukwila, WA 98188		
Contact:	Don Helling, Huitt-Zollars, 814 East Pike Street, Seattle, WA 98122		
File Number:	LUA10-008, ECF, CAR		
Project Manager:	Vanessa Dolbee, (Acting) Senior Planner		
Project Summary:	<p>The applicant is requesting SEPA Environmental Review for updates/replacement of the storm drainage facilities and other utilities at the Wonderland Estates Mobile Home Park. The subject site is located at 14645 SE Renton-Maple Valley Road, is approximately 12.21 acres, and is zoned Residential Manufactured Home (RMH). The existing site contains space for 108 manufactured homes, no changes are proposed to the number of units at the site. Proposed improvements would include replacement of sanitary sewer system, water, storm drainage, roadways and electrical. As proposed, some utility pipes would exceed 8-inches in diameter. To complete the project approximately 23,850 cubic yards of cut and fill would be required. Other utilities such as telephone, cable, and natural gas would be updated if feasible. A Critical Areas Exemption is requested for the resurfacing of the existing roadway within the buffer of the Category III wetland located on the subject site.</p>		
Project Location:	14645 SE Renton-Maple Valley Road		
Exist. Bldg. Area SF:	105,000 SF	Proposed New Bldg. Area (footprint):	N/A
		Proposed New Bldg. Area (gross):	N/A
Site Area:	12.21 acres	Total Building Area GSF:	101,600 SF
STAFF RECOMMENDATION:	Staff Recommends that the Environmental Review Committee issue a Determination of Non-Significance - Mitigated (DNS-M).		



Project Location Map

PART ONE: PROJECT DESCRIPTION / BACKGROUND

Wonderland Estates is located at 14645 SE Renton-Maple Valley Road and has been a developed manufactured home park (MHP) since the early 1960's. The site contains 108 spaces for manufactured homes each with parking for two vehicles. At this time, the park is not completely full although, at maximum capacity, the site would have a gross density of 8.8 dwelling units per acre. Currently Wonderland Estates is a 55+ community that is bordered by New Life Church and a single-family home to the east, a large single-family residential subdivision (Pioneer Place) to the west, vacant property to the south and southwest, and across Maple Valley Road is the Cedar River Trail and King County. Currently the site contains an office and recreational hall, laundry room, and storage shed all of which are to be maintained with the exception of the laundry room, which would be demolished.

The MHP gains access at one signalized ingress/egress point along Renton-Maple Valley Road. The site is zoned Residential Manufactured Home (RMH) and is located in the Residential Medium Density (RMD) land use designation. The applicants are requesting SEPA environmental review for stormwater and utility improvements, and are not proposing any changes to the existing MHP with the exception of the removal of the laundry room. All 108 units would remain, all parking would be maintained, roads would be repaved, ingress/egress would remain and any landscaping that is disturbed as a result of the utility improvements would be replaced.

The City of Renton's Critical Areas Maps indicate that the subject site is within the vicinity of seismic hazards, landslide hazards, erosion hazards, protected slopes, flood hazards, wetlands, and a Class 2 stream. The applicant provided a letter from The Watershed Company, dated November 11, 2009, in which, they identified a Category 3 wetland on the subject site. Madsen Creek's main channel is located near the northeast corner of the subject site (but is not located on the site) and the over flow channel of Madsen Creek runs along the east property line of the site. The City's Sensitive Areas Maps also identify the over flow channel of Madsen Creek as a Class 2 stream as well as the stream itself. The proposed project would not result in impacts to any of the identified critical area in or around the subject site with the exemption of the Wetland. As such, the applicant has also requested a Critical Areas Exemption for the re-pavement of the existing road and replacement of a storm drainage line that are located within the wetland buffer. The site is also located in a flood hazard area, Zone A per FIRM Map Number 53033C0984K. No impacts are proposed to the flood hazard area, although a sewer pipe would need to be connected to an existing public sewer manhole, which is located within the flood zone.

The current storm drainage conditions at the subject site result in localized flooding. Madsen Creek floods on to the site impacting roads and some of the structures in the north end of the site and Pioneer Place, the adjacent neighborhood. One of the primary reasons for the proposed project is to alleviate flooding on the property due to flooding of Madsen Creek. Additional benefits of the applicant's proposal includes a reduction to the potential flooding in Pioneer Place to the west and Madsen Creek downstream of the site. Overall the applicant is proposing to upgrade the stormwater management facilities at the site in an effort to reduce and control the impact of stormwater runoff to the site and off-site flooding. A new pumping system with appropriate storage capacity would be provided to mitigate on-site flooding. The current discharge location is into Madsen Creek via a pump system. This discharge location falls within the 100 year flood hazard area. The project proposes to maintain the current drainage configuration of pumping to Madsen Creek. The northwest corner of the site would be used to create flood storage volume and reduce the potential for flooding of on-site structures.

In addition to storm water improvements, the applicant has proposed to replace existing water and sewer lines as well as electrical and telephone infrastructure. Following the completion of the new utilities the road would be reconstructed and resurfaced. Although the applicant has proposed to narrow the internal roads as follows: Pine Drive and Oak Drive by 6-feet (from 30-feet to 24-feet) and Maple Drive by 5-feet (from 33-feet to 28-feet) resulting in a overall reduction of impervious surfaces within the development. To further reduce impervious surfaces the applicants have proposed the removal of an obsolete tennis court that is located in the south section of the site. As a result of the proposed project approximately 12,000 cubic yards of cut and 11,850 cubic yards of fill would be required.

PART TWO: ENVIRONMENTAL REVIEW

In compliance with RCW 43.21C.240, the following environmental (SEPA) review addresses only those project impacts that are not adequately addressed under existing development standards and environmental regulations.

A. Environmental Threshold Recommendation

Based on analysis of probable impacts from the proposal, staff recommends that the Responsible Officials:

Issue a DNS-M with a 14-day Appeal Period.

B. Mitigation Measures

1. The applicant shall comply with the recommendations included within the "Geotechnical Engineering Design Study", prepared by Hart Crowser, dated February 17, 2010.
2. Temporary Erosion Control shall be installed and maintained to the satisfaction of the representative of the Development Services Division for the duration of the project and weekly reports on the status and condition of the erosion control plan with any recommendations of change or revision to maintenance schedules or installation shall be submitted by the project Engineer of record to the Public Works Inspector and certification of the installation, maintenance and proper removal of the erosion control facilities is required prior to release of maintenance bond.
3. Construction drawings for the Wonderland Estates Utility Replacement project shall be submitted to King County's Asset management section for review during project design development so that King County staff can assess project impacts. The drawings shall be sent to Bob Isaac, Local Public Agency Administrator, King County WTD Asset Management, 201 South Jackson Street, KSC-NR-0508, Seattle, WA 98104.
4. Any vegetation or soil disturbance that occurs in the wetland buffer, as a result of construction activity shall be restored and re-vegetated with native plants following construction. When the wetland buffer restoration is complete, the applicant shall contact the Current Planning Project Manager for an inspection prior to construction permit finalization.
5. If any Native American grave(s) or archaeological/cultural resources (Indian artifacts) are found, all construction activity shall stop and the owner/developer shall immediately notify the City of Renton planning department, concerned Tribes' cultural committees, and the Washington State Department of Archeological and Historic Preservation at 360-586-3065.
6. A construction plan indicating haul routes and hours, construction hours, and a traffic control plan shall be submitted for approval prior to any permit being issued.

C. Exhibits

Exhibit 1	Neighborhood Detail Map
Exhibit 2	Site Plan, Key
Exhibit 3	Site Plan, SP1
Exhibit 4	Site Plan, SP2
Exhibit 5	Site Plan, SP3
Exhibit 6	Site Plan, SP4
Exhibit 7	Site Plan, SP5
Exhibit 8	Wetland Assessment Plan
Exhibit 9	Flood Hazard Exhibit
Exhibit 10	Grading Plan
Exhibit 11	Grading Plan and Sections
Exhibit 12	Road Cross-Section Details, sheet 4 of 7
Exhibit 13	Road Cross-Section Details, sheet 5 of 7
Exhibit 14	Storm Drainage Plan
Exhibit 15	Storm Drainage Detail
Exhibit 16	Draft Critical Areas Exemption

D. Environmental Impacts

The Proposal was circulated and reviewed by various City Departments and Divisions to determine whether the applicant has adequately identified and addressed environmental impacts anticipated to occur in conjunction with the proposed development. Staff reviewers have identified that the proposal is likely to have the following probable impacts:

1. Earth

Impacts: The City of Renton's Critical Areas Maps indicate that the subject site is within the vicinity of many geological hazards including, seismic hazards, landslide hazards, erosion hazards, and protected slopes. As such, the applicant submitted a "Geotechnical Engineering Design Study", prepared by Hart Crowser, dated February 17, 2010. Pursuant to the Geotechnical Study, the developed portion of the site is fairly flat sloping slightly downward to the north. The surface elevations range from about 120 feet mean sea level (MSL) at the south end to 100 feet MSL in the north end near SR-169. There is an undeveloped hill in the extreme southwest corner of the site that slopes steeply upward toward the southwest. The landslide and erosion hazards identified on the City's Critical Areas Maps are associated with the hill located in the southwest corner of the site. This hill is considered to be a protected slope pursuant to Renton Municipal Code. The proposed project is entirely located within the developed portion of the site; therefore, impacts related to the steep slopes are not anticipated as a result of the subject project.

Pursuant to the provided geotechnical study the site generally contains very loose to medium dense alluvial soils from the ground surface downward. The materials primarily consist of silt, sand, gravel and combinations thereof. Furthermore, the report indicated that the loose, soft or medium dense soils are not suitable for direct support of pavement sections, on-grade utilities, or structural fill in their present condition. These soils would need to be compacted in place to a dense condition or removed and replaced with structural fill to provide sufficient support for the proposed improvements.

The Geotechnical Study indicated that the groundwater was encountered at depths of 2.5 feet to 5 feet below the ground surface.

Additionally, the Study evaluated potential seismically induced geotechnical hazards including liquefaction, surface rupture, lateral spreading and landslides. The report concluded that the potential for surface rupture, lateral spreading and landslides were very small and did not warrant special geotechnical design considerations. Although the Study concluded that the subject site was susceptible to liquefaction because a significant portion of the site soils are in a loose to medium dense condition and below the water level; resulting is susceptibility to significant settlement of surface pavement, catch basins, manholes, buried pipelines, and other structures that are supported above the liquefiable soils. The report recommends that the design considers the potential for differential settlement.

Furthermore, the Geotechnical Study provides conclusions and recommendations regarding the geotechnical aspects of design and construction including but not limited to site preparation, pavement design, curtain drain design, site utilities, structural fill selection, placement and compaction, and general construction considerations. As such, staff recommends a mitigation measure that the applicant comply with the recommendations included within the "Geotechnical Engineering Design Study", prepared by Hart Crowser, dated February 17, 2010.

Approximately 23,850 cubic yards of cumulative grading will occur on the site with the proposed development. The proposed stormwater detention pond at the northwest property corner would be excavated in addition to utility line trenches. Due to the erosion potential of the subject site, staff recommends a mitigation measure that Temporary Erosion Control shall be installed and maintained to the satisfaction of the representative of the Development Services Division for the duration of the project and weekly reports on the status and condition of the erosion control plan with any recommendations of change or revision to maintenance schedules or installation shall be submitted by the project Engineer of record to the Public Works Inspector and Certification of the installation, maintenance and proper removal of the erosion control facilities is required prior to Temporary Certificate of Occupancy.

Mitigation Measures:

1. The applicant shall comply with the recommendations included within the "Geotechnical Engineering Design Study", prepared by Hart Crowser, dated February 17, 2010.
2. Temporary Erosion Control shall be installed and maintained to the satisfaction of the representative of the Development Services Division for the duration of the project and weekly reports on the status and condition of the erosion control plan with any recommendations of change or revision to maintenance schedules or installation shall be submitted by the project Engineer of record to the Public Works Inspector and certification of the installation, maintenance and proper removal of the erosion control facilities is required prior to release of maintenance bond.

Nexus: SEPA Environmental Regulations

2. Water

a. Wetland, Streams, Lakes

Impacts: The applicant provided a letter from The Watershed Company, dated November 11, 2009 addressing Wonderland Estates environmental and permitting review. Pursuant to this letter and the City's Critical Areas maps the following streams have been identified near the subject site. Madsen Creek, a Class 2 stream, flows out of an off-site ravine into a sedimentation pond located south of the subject property. This pond has two outlets; the original stream channel which flows east then north

eventually bending west to run parallel to SR-169 and a high-flow bypass channel that flows parallel to the eastern property line of the subject site. The City's Critical Areas maps identify both the main stream channel and the high-flow bypass as a Class 2 stream. Comments were received from King County Waste Water Treatment Division, indicating that the Madsen Creek Interceptor is located near the subject project. Because the subject project may have impacts on this existing, facility staff recommends as a mitigation measure that construction drawings for the project are submitted to the Asset Management section of King County, for review during project design development so the King County staff can assess project impacts.

The Watershed letter also indicates that a Category 3 wetland is located at the base of the sloped, forested area in the southwest property corner. The wetland has been characterized as a slope-type wetland but was not delineated by the Watershed Company. A delineation of the subject wetland was completed by Raedeke Associates in 2006, when the subject property was located in King County. The applicants have utilized the 2006 delineation to identify any impacts to the wetland and/or its buffer as a result of the subject project. As proposed, no impacts to the streams or the wetlands would result from the subject proposal; although, minor impacts would occur to the 25-foot wetland buffer.

Under current conditions a portion of Oak Drive and Birch Drive are located within the 25-foot wetland buffer area, along with a storm drain and pipe. As a part of the subject proposal, the applicant would be resurfacing the existing internal road system and replacing the storm drainage system. The proposed improvements would result in minor impacts to the wetland buffer including 1,680 square feet resurfacing of Oak Drive and Birch Drive and approximately 29 liner feet of storm drainage pipe replacement. RMC 4-3-050C.5.e.ii exempts normal and routine maintenance, operation and repair of existing streets, roads, rights-of-way and associated appurtenances, facilities and utilities where no alteration or additional fill materials will be placed other than the minimum alteration and/or fill needed to restore those facilities to meet established safety standards. The applicant has requested a Critical Areas Exemption for the work to be performed within the buffer of the wetland, see Exhibit 16. Although, normal maintenance and repair are exempt activities within a wetland buffer, temporary impact could occur to the buffer beyond the existing limits of the roadways, due to construction activity. As such, staff recommends a mitigation measure that any vegetation or soil disturbance that occurs as a result of the construction activity is restored and re-vegetated with native plants following construction. When buffer restoration is complete, the applicant shall contact the Current Planning Project Manager for an inspection prior to construction permit finalization.

Mitigation Measures:

1. Construction drawings for the Wonderland Estates Utility Replacement project shall be submitted to King County's Asset management section for review during project design development so that King County staff can assess project impacts. The drawings shall be sent to Bob Isaac, Local Public Agency Administrator, King County WTD Asset Management, 201 South Jackson Street, KSC-NR-0508, Seattle, WA 98104.
2. Any vegetation or soil disturbance that occurs in the wetland buffer, as a result of construction activity shall be restored and re-vegetated with native plants following construction. When the wetland buffer restoration is complete, the applicant shall contact the Current Planning Project Manager for an inspection prior to construction permit finalization.

Nexus: SEPA, Critical Areas Regulations, RMC 4-3-050.

b. Storm Water

Impacts: The applicant provided a draft Technical Information Report (TIR) prepared by Huitt-Zullars, dated April 9, 2010. Pursuant to the TIR, the on-site stormwater generally flows south to north/northwest toward SR-169 and the northwest corner of the site. Although the development of Pioneer Place (to the west) and alterations to SR-169 have changed the topography in the vicinity of the subject site, resulting in the need to pump runoff from the site. The current on-site drainage system collects stormwater runoff by gravity flow in a pipe network and pumps low flows to Madsen Creek. The TIR indicates that during high runoff events, the two existing pumps are incapable of matching peak runoff rates and runoff ponds in the northwest portion of the site before discharging to the west, which at one time was the natural drainage pattern in the area. The current condition of the roadside drainage swale located near the northwest corner of the site prevents efficient discharge at this location, therefore runoff floods onto the adjacent property (Pioneer Place), where homes are impacted before runoff enters the Pioneer Place development's drainage system. Furthermore, Madsen Creek floods onto the site at the location of the current pump discharge, impacting roads and some of the structures in the north end of the site, and Pioneer Place adjacent to the site. During Madsen Creek flooding events, the existing storm water pumping facilities re-circulate the runoff back onto the site. Under current conditions, the two available discharge points (Madsen Creek and the roadside swale) are inadequate to prevent flooding of the site and of adjacent properties downstream. One of the primary reasons for the proposed project is to alleviate flooding on the property due to flooding of Madsen Creek. Additional benefits of the applicant's proposal includes a reduction to the potential flooding in Pioneer Place to the west of the site. Overall, the applicant is proposing to upgrade the stormwater management facilities at the site in an effort to reduce and control the impact of stormwater runoff to the site and off-site flooding. The applicant is proposing to maintain the current drainage configuration of pumping to Madsen Creek. As such, the project would maintain the existing discharge rates and volumes to each drainage system. In addition to replacing the pumps that applicant has proposed to construct a flood storage, drainage ditch in the northwest corner of the site. This ditch would be used to reduce the potential of flooding on-site structures. Pursuant to the TIR this facility would not change flow characteristics of the existing site with the exception of replacing sheet flow with pipe flow over a short distance. Overall, the new storm water drainage facilities would improve the flooding problems on site and off site in Pioneer Place.

Mitigation Measures: No further mitigation is required.

Nexus: N/A

3. Environmental Health

a. Noise

Impacts: It is anticipated that short-term noise would occur during regular operation hours of construction. Construction times for this project shall be restricted to the hours between 7:00 a.m. and 8:00 p.m., Monday through Friday. Work on Saturdays shall be restricted to the hours between 9:00 a.m. and 8:00 p.m. and no work shall be permitted on Sundays.

Mitigation Measures: No further mitigation is required.

Nexus: N/A

4. Historic and Cultural Preservation

Impacts: Historically the Cedar River has meandered downstream in the Renton-Maple Valley area across the width of the river valley. Furthermore, developments within the vicinity of the Cedar River

are more likely to be sites where significant historic and/or cultural resources would be found, and the subject development has indicated that site grading would be conducted. Therefore, staff recommends a mitigation measure that requires the applicant and/or developer to stop work and immediately notify the City of Renton planning department, concerned Tribes' cultural committees, and the Washington State Department of Archeological and Historic Preservation if any Native American grave(s) or archaeological/cultural resources (Indian artifacts) are found.

Mitigation Measures: If any Native American grave(s) or archaeological/cultural resources (Indian artifacts) are found, all construction activity shall stop and the owner/developer shall immediately notify the City of Renton planning department, concerned Tribes' cultural committees, and the Washington State Department of Archeological and Historic Preservation at 360-586-3065.

Nexus: SEPA Environmental Regulations

5. Transportation

Impacts: During construction, the project is anticipated to have temporary impacts on vehicular movement throughout the internal street system. The applicant has provided a preliminary traffic control plan that indicates the MHP ingress and egress would be maintained during construction, as well as the signalized intersection with Renton-Maple Valley Road (SR-169). To ensure access is maintained to the resident's homes throughout the construction process, staff recommends a mitigation measure that the applicant submit a construction plan indicating haul routes and hours, construction hours, and a traffic control plan for approval by the City prior to construction permit issuance.

Mitigation Measures: A construction plan indicating haul routes and hours, construction hours, and a traffic control plan shall be submitted for approval prior to any permit being issued.

Nexus: SEPA, Renton Municipal Code

E. Comments of Reviewing Departments

The proposal has been circulated to City Department and Division Reviewers. Where applicable, their comments have been incorporated into the text of this report and/or "Advisory Notes to Applicant."

- ✓ **Copies of all Review Comments are contained in the Official File and may be attached to this report.**

Environmental Determination Appeal Process: Appeals of the environmental determination must be filed in writing on or before 5:00 PM, June 4, 2010.

Renton Municipal Code Section 4-8-110.B governs appeals to the Hearing Examiner. Appeals must be filed in writing at the City Clerk's office along with the required fee. Additional information regarding the appeal process may be obtained from the City Clerk's Office, Renton City Hall - 7th Floor, 1055 S. Grady Way, Renton WA 98057.

ADVISORY NOTES TO APPLICANT

The following notes are supplemental information provided in conjunction with the administrative land use action. Because these notes are provided as information only, they are not subject to the appeal process for the land use actions.

Planning:

1. RMC section 4-4-030.C.2 limits haul hours between 8:30 am to 3:30 pm, Monday through Friday unless otherwise approved by the Development Services Division.
2. Commercial, multi-family, new single family and other nonresidential construction activities shall be restricted to the hours between seven o'clock (7:00) a.m. and eight o'clock (8:00) p.m., Monday through Friday. Work on Saturdays shall be restricted to the hours between nine o'clock (9:00) a.m. and eight o'clock (8:00) p.m. No work shall be permitted on Sundays.
3. Within thirty (30) days of completion of grading work, the applicant shall hydroseed or plant an appropriate ground cover over any portion of the site that is graded or cleared of vegetation and where no further construction work will occur within ninety (90) days. Alternative measures such as mulch, sodding, or plastic covering as specified in the current King County Surface Water Management Design Manual as adopted by the City of Renton may be proposed between the dates of November 1st and March 31st of each year. The Development Services Division's approval of this work is required prior to final inspection and approval of the permit.

Plan Review – Surface Water:

1. A final TIR and design in compliance with the 1990 King County Surface Water Design manual, along with any supporting reports or other documents, is required with the construction permit.
2. The Surface Water SDC fee is \$0.405 per square foot of new impervious area but not less than \$1,012. This fee is collected at the time a construction or utility permit is issued, prior or concurrent to the issuance of the building permit. The report shows a net loss of impervious surface due to narrowing of the streets and elimination of a tennis court. The fee will be determined based on the final plans.

Plan Review – Transportation:

1. A Traffic Mitigation Fee of \$75.00 per additional Average Daily Trip is not triggered for this work.
2. A traffic control plan for any work within the right-of-way is required.

Plan Review – General:

1. All plans shall conform to the Renton Drafting Standards.
2. A construction permit is required. When plans are complete, three copies of the drawings, two copies of the drainage report, a construction estimate, application, and appropriate fee shall be submitted to the City Hall sixth floor counter.
3. Standard sewer and water fees are per the Cedar River Water and Sewer District

Fire Department:

1. The Renton Fire Department has reviewed a preliminary water main improvement plan. A tentative design has been agreed upon. The water is supplied from Soos Creek Water and Sewer district. All water main improvements will be located on private property and so will not impact city or state right of ways.
2. Emergency access shall be provided at all times during installation of all infrastructure improvements.



City of Renton
Planning Division

Feb - 20 1967

RECEIVED

SCALE (IN FEET)

100

SPD
1 OF 6

MATCH LINE, SEE SHEET SP1

MATCH LINE, SEE SHEET SP4

N 13°40'15" E 311.76'

N 89°21'07" W 352.22'

City of Renton
Planning Division

FEB - 8 2010

RECEIVED

WONDERLAND ESTATES INFRASTRUCTURE IMPROVEMENTS
14845 RENTON-MAPLE VALLEY ROAD
SITE PLAN

SP2
FEB 8 2010 SHEET 3 OF 6

LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	POWER TRANSFORMER
[Symbol]	[Symbol]	CABLE TV RISER
[Symbol]	[Symbol]	ELECTRIC METER
[Symbol]	[Symbol]	UTILITY POLE
[Symbol]	[Symbol]	SIGN
[Symbol]	[Symbol]	LIGHT
[Symbol]	[Symbol]	GUY ANCHOR
[Symbol]	[Symbol]	TELEPHONE RISER
[Symbol]	[Symbol]	POWER VAULT
[Symbol]	[Symbol]	UTILITY POLE WALKWAY
[Symbol]	[Symbol]	ASPHALT PAVEMENT
[Symbol]	[Symbol]	MOBILE HOME UNIT
[Symbol]	[Symbol]	BUILDING STRUCTURE
[Symbol]	[Symbol]	NUMBER OF PARKING STALLS
[Symbol]	[Symbol]	QUIETEST SPOTS
[Symbol]	[Symbol]	WETLAND SPOTS
[Symbol]	[Symbol]	WETLAND BOUNDARY
[Symbol]	[Symbol]	WETLAND BUFFER

EXHIBIT 4

City of Renton
Planning Division

FEB - 1970

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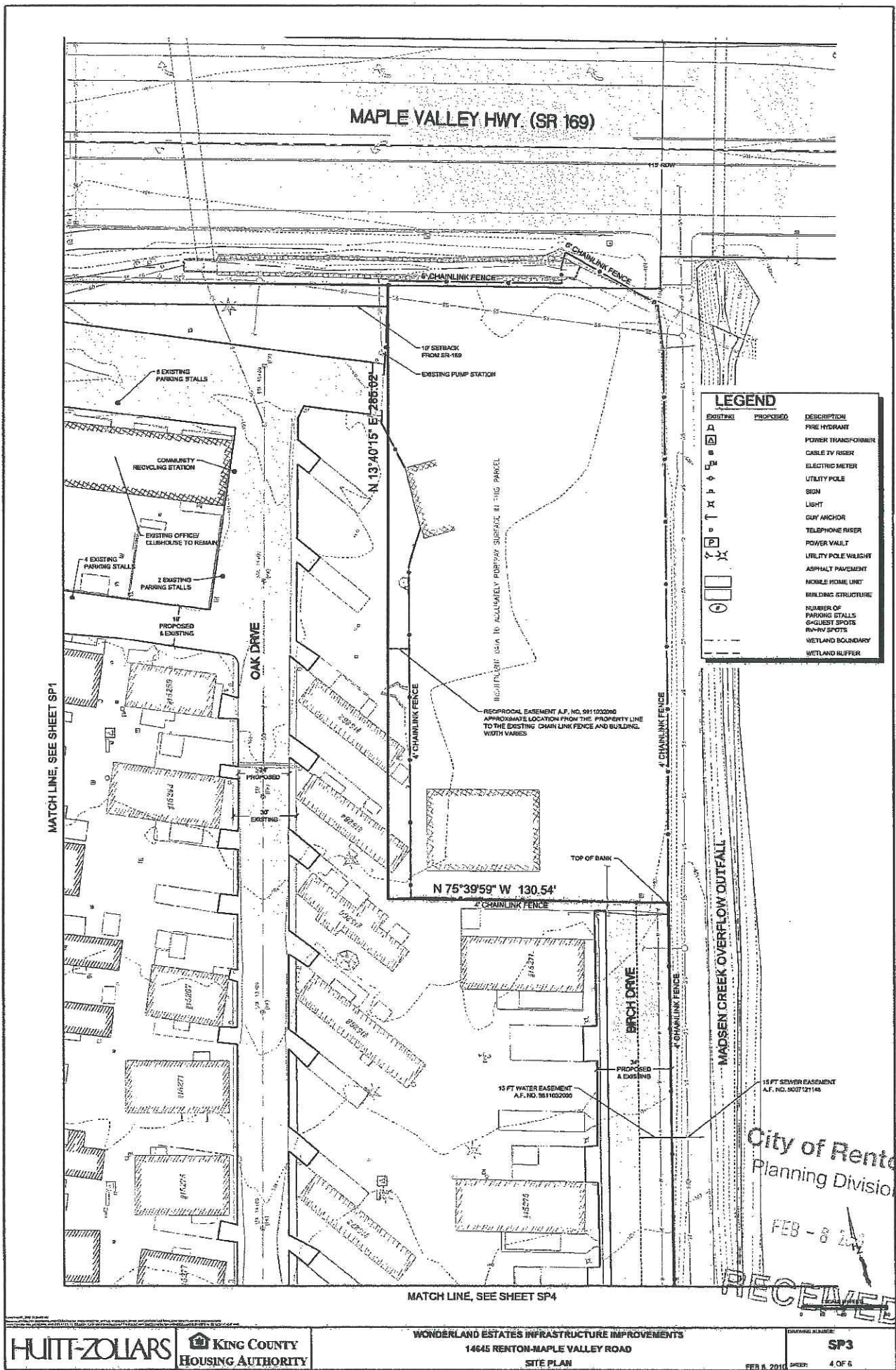


EXHIBIT 5

HUETT-ZOLIARS

KING COUNTY HOUSING AUTHORITY

WONDERLAND ESTATES INFRASTRUCTURE IMPROVEMENTS
14645 RENTON-MAPLE VALLEY ROAD
SITE PLAN

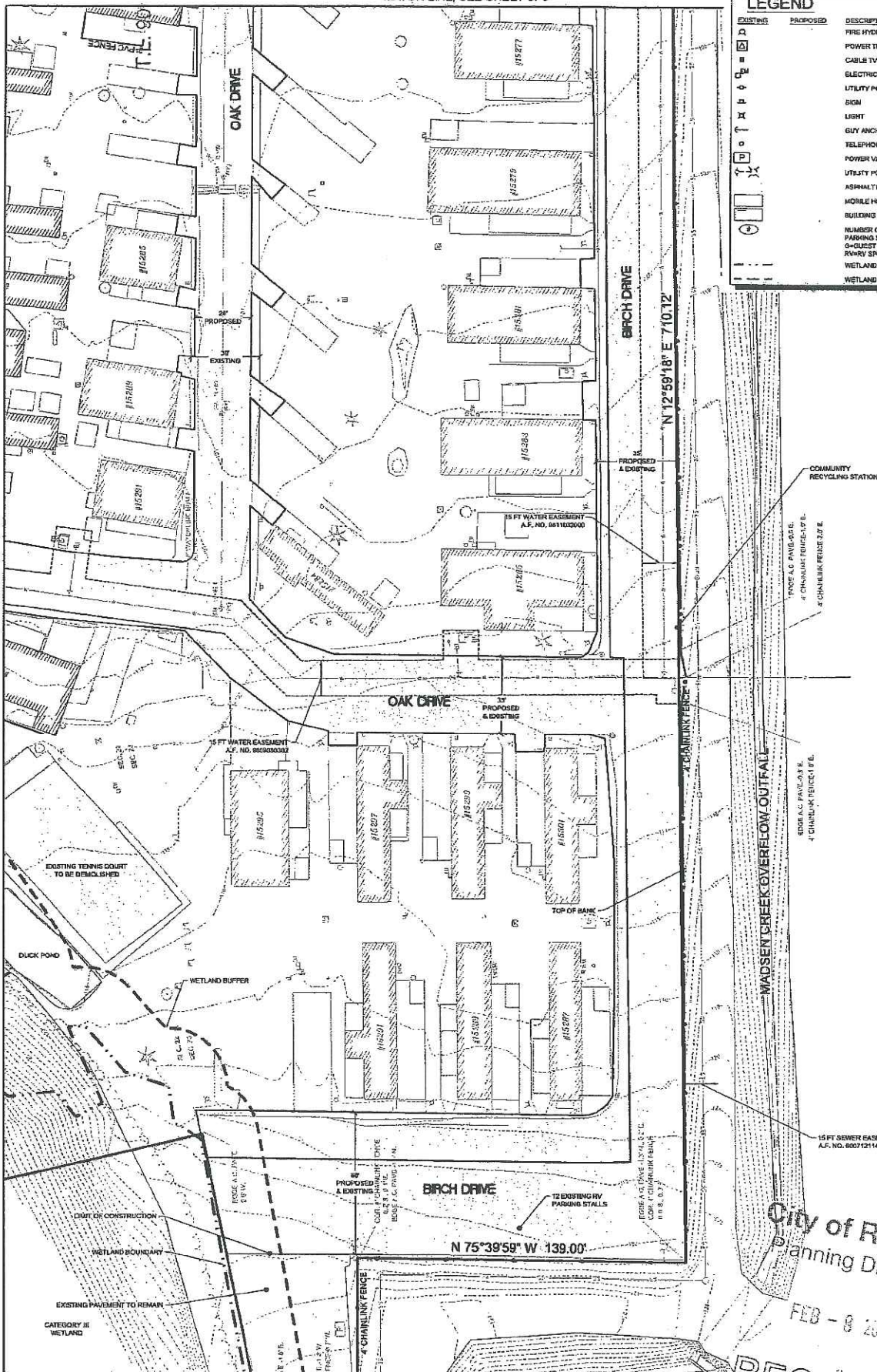
FEB 8 2010

MATCH LINE, SEE SHEET SP3

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		FIRE HYDRANT
		POWER TRANSFORMER
		CABLE TV RISER
		ELECTRIC METER
		UTILITY POLE
		SIGN
		LIGHT
		GUY ANCHOR
		TELEPHONE RISER
		POWER VAULT
		UTILITY POLE VAULT
		ASPHALT PAVEMENT
		MOBILE HOME UNIT
		BUILDING STRUCTURE
		NUMBER OF PARKING STALLS
		GUEST SPOTS
		RWY SPOTS
		WETLAND BOUNDARY
		WETLAND BUFFER

MATCH LINE, SEE SHEET SP2



MATCH LINE, SEE SHEET SP5

EXHIBIT 6

City of Renton
Planning Division

FEB - 8 2010

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HUETT-ZOLLARS

KING COUNTY
HOUSING AUTHORITY

WONDERLAND ESTATES INFRASTRUCTURE IMPROVEMENTS
14845 RENTON-MAPLE VALLEY ROAD
SITE PLAN

SP4
5 OF 6

EXISTING	PROPOSED	DESCRIPTION
		FIRE HYDRANT
		POWER TRANSFORMER
		CABLE TV RISER
		ELECTRIC METER
		UTILITY POLE
		SIGN
		LIGHT
		GUY ANCHOR
		TELEPHONE RISER
		POWER VAULT
		UTILITY POLE WROUGHT
		ASPHALT PAVEMENT
		MOBILE HOME UNIT
		BUILDING STRUCTURE
		NUMBER OF PARKING STALLS
		GUEST SPOTS
		ENTRY SPOTS
		WETLAND BOUNDARY
		WETLAND BUFFER

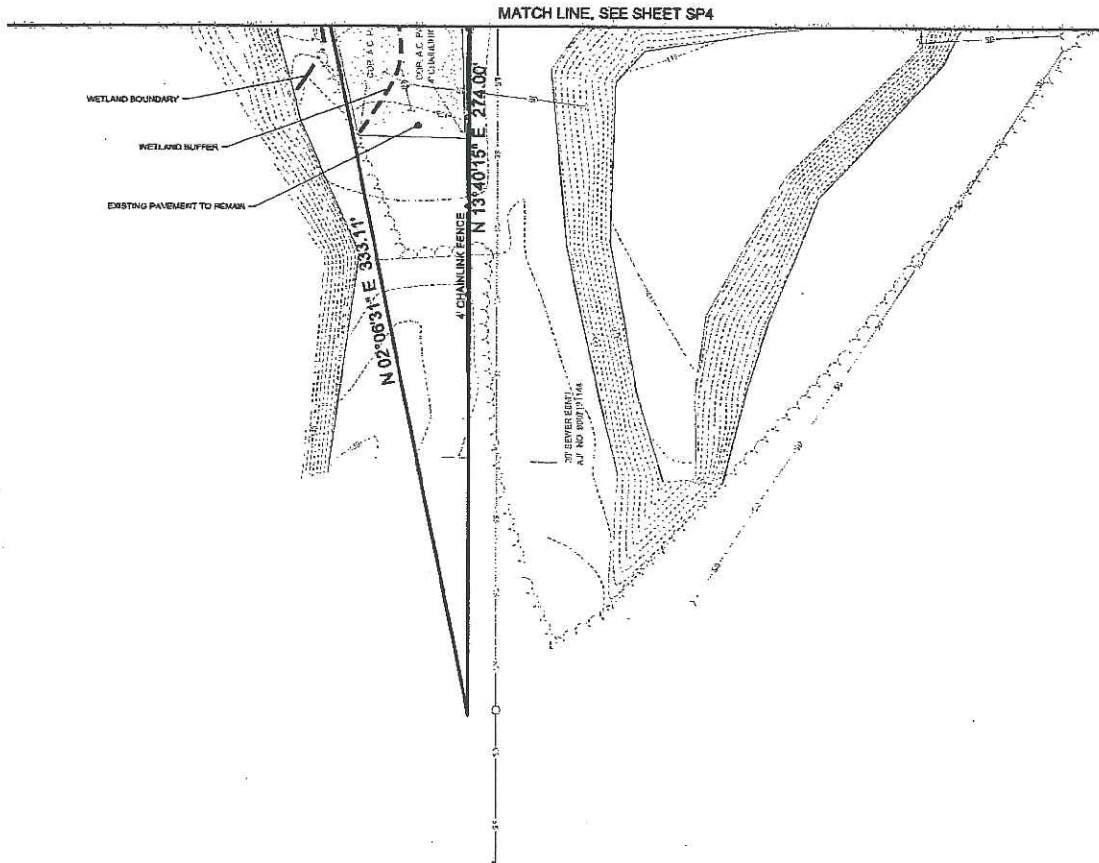


EXHIBIT 7

City of Renton
Planning Division

FEB - 8 2010

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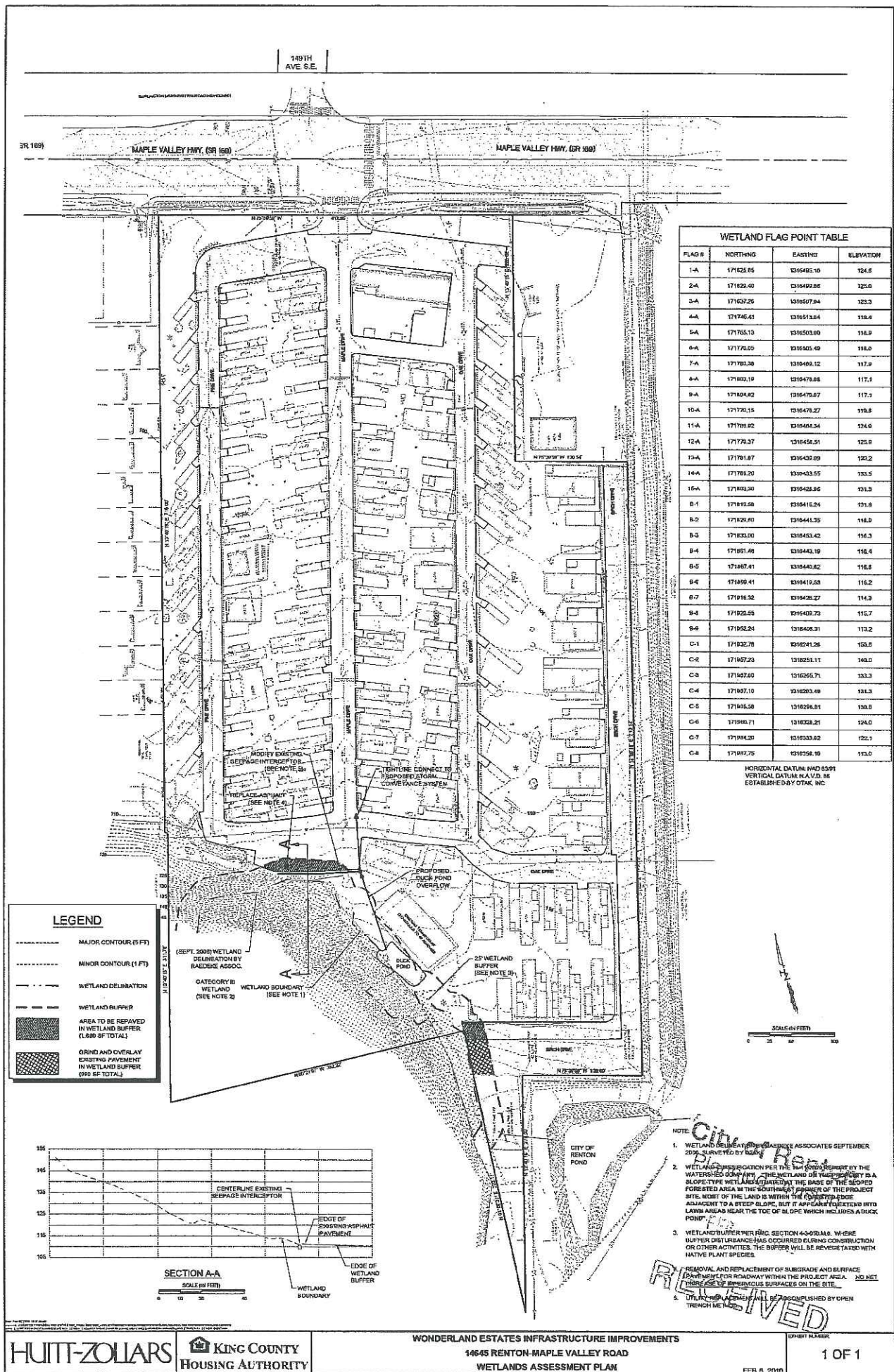
HUNT-ZOLLARS

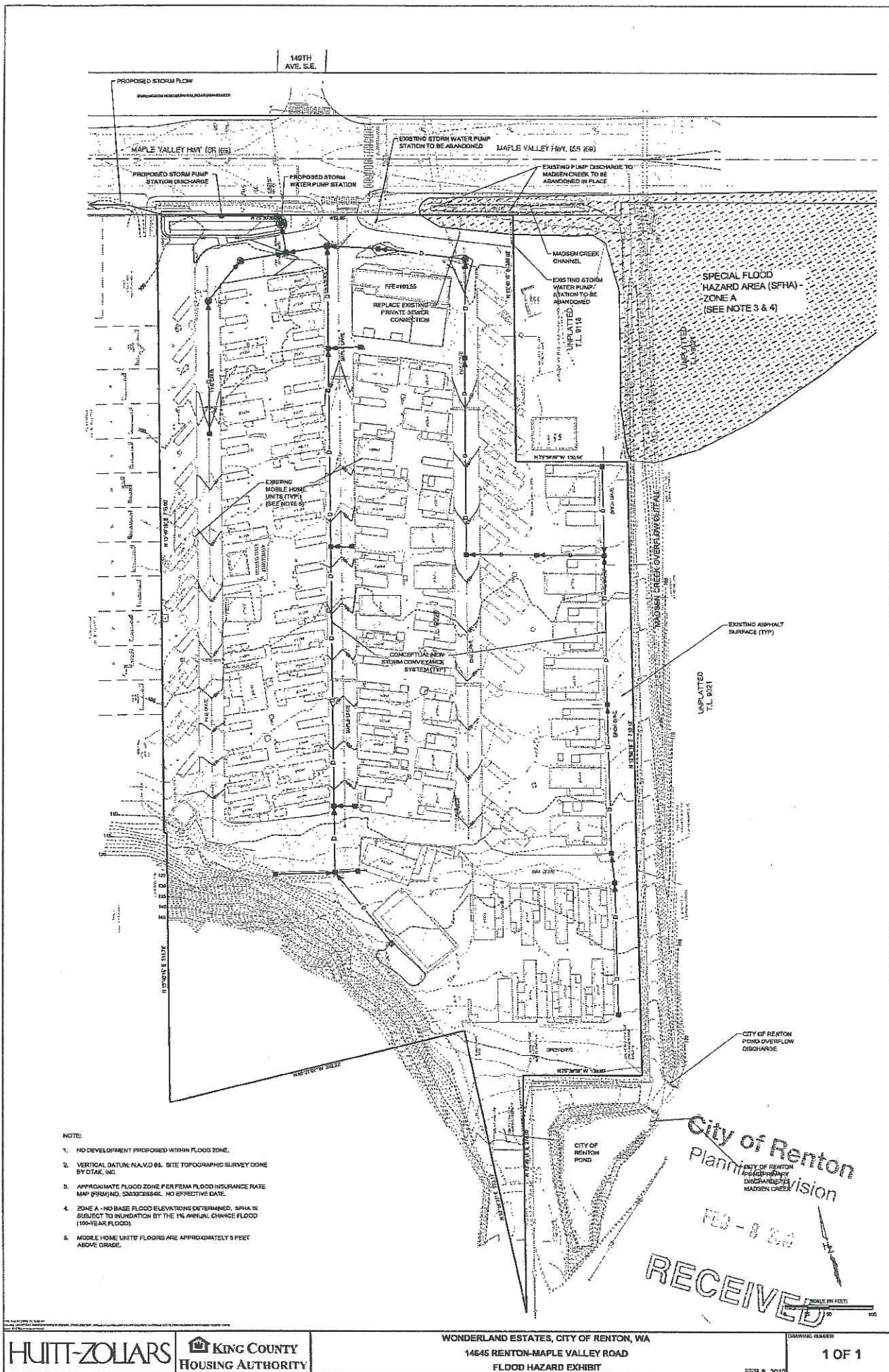
KING COUNTY
HOUSING AUTHORITY

WONDERLAND ESTATES INFRASTRUCTURE IMPROVEMENTS
14645 RENTON-MAPLE VALLEY ROAD
SITE PLAN

FEB 8 2010 SHEET 6 OF 6

SP5



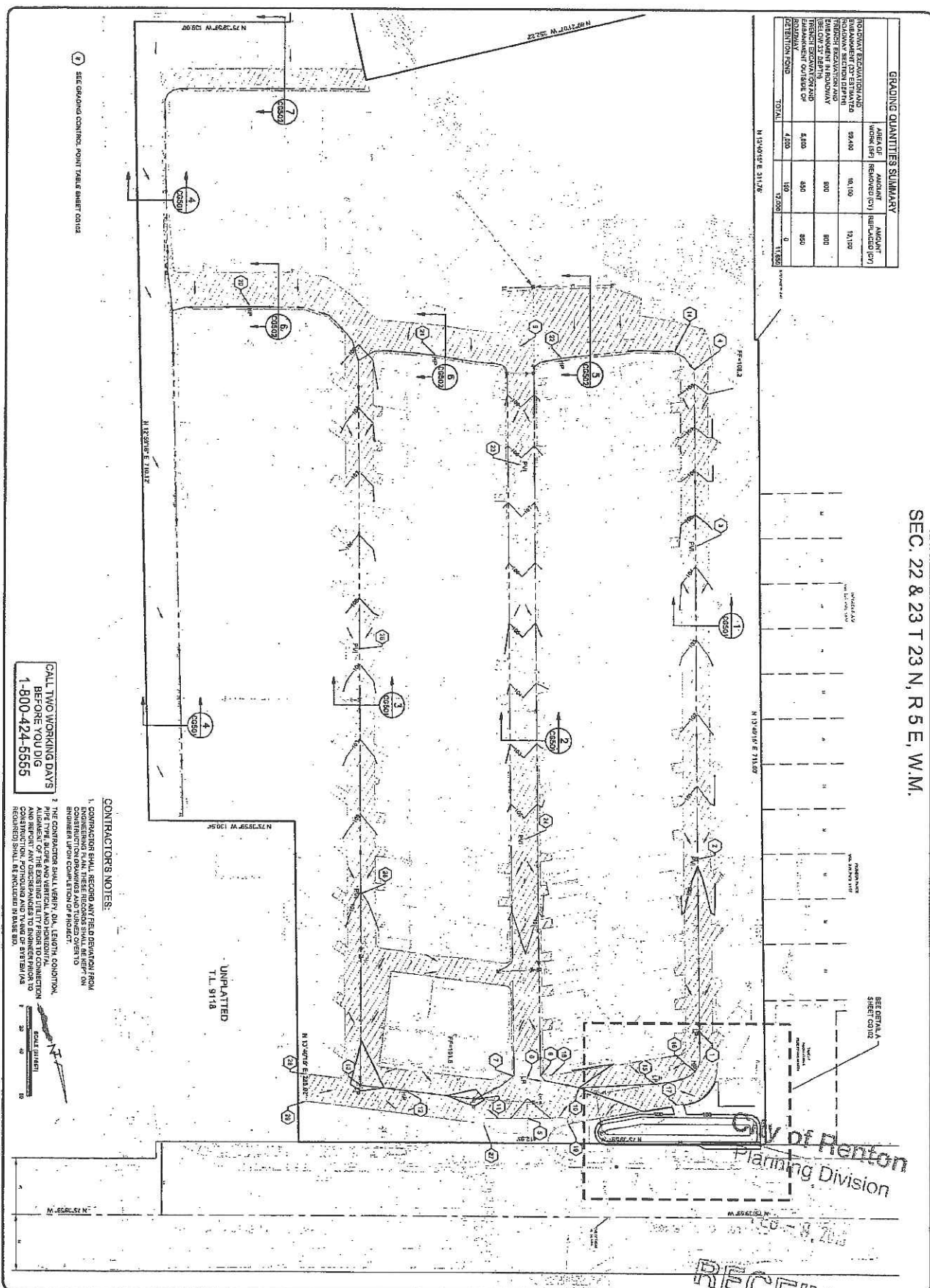


- NOTE:
1. NO DEVELOPMENT PROPOSED WITHIN FLOOD ZONE.
 2. VERTICAL DATUM: NAVD 83. SITE TOPOGRAPHIC SURVEY DONE BY DTAI, INC.
 3. APPROXIMATE FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP (FIRM) NO. 52033C084K. NO EFFECTIVE DATE.
 4. ZONE A - NO BASE FLOOD ELEVATIONS DETERMINED. SFHA IS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD).
 5. MOBILE HOME UNIT FLOORS ARE APPROXIMATELY 3 FEET ABOVE CURB.

EXHIBIT 9

SEC. 22 & 23 T 23 N, R 5 E, W. M.

EVOLVING QUANTITIES SUMMARY			
	AREA OF WORK (SQ FOOT)	AMOUNT REMOVED (CY)	AMOUNT REPLACED (CY)
ROADWAY RECONSTRUCTION	99,440	10,100	12,100
RECONSTRUCTION OF PAVEMENT SURFACING AND SIDEWALKS AND CUTBACKS AND RECONSTRUCTION OF PAVEMENT IN ROADWAY		800	800
RECONSTRUCTION OF PAVEMENT IN ROADWAY		440	440
RECONSTRUCTION OF PAVEMENT OUTSIDE OF ROADWAY	5,500		950
RECONSTRUCTION OF PAVEMENT OUTSIDE OF ROADWAY	4,500	160	
TOTAL		10,960	13,490



**CALL TWO WORKING DAYS
BEFORE YOU DIG
1-800-424-5555**

CONTRACTOR'S NOTES

1. CONTRACTOR SHALL RECORD ANY FIELD DEVIATION FROM ENGINEERING PLAN. THESE RECORDS SHALL BE KEPT ON CONSTRUCTION DRAWINGS AND TURNED OVER TO ENGINEER UPON COMPLETION OF PROJECT.
2. THE CONTRACTOR SHALL VERIFY O.D., LENGTH, CONDITION, PIPE TYPE, SLOPE AND VERTICAL AND HORIZONTAL ALIGNMENT OF THE EXISTING UTILITY PRIOR TO CONNECTING AND REPORT ANY DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION. CONTROLLING AND TYPING OF EXISTING (AS REQUIRED) SHALL BE INDICATED IN BASE BID.

WONDERLAND ESTATES
GRADING PLAN

KING COUNTY HOUSING AUTHORITY



HUITT-ZOLLARS
Huitt-Zollars, Inc. Seattle
814 East Pike Street
Seattle, Washington, 98122-3893
Phone (206) 324-5500 Fax (206) 326-1850

JOB NO.: 1509322
DATE: 02/08/11
DESIGNED: VUL
DRAWN: MAN
CHECKED: DJH
SCALE: 1" = 40'

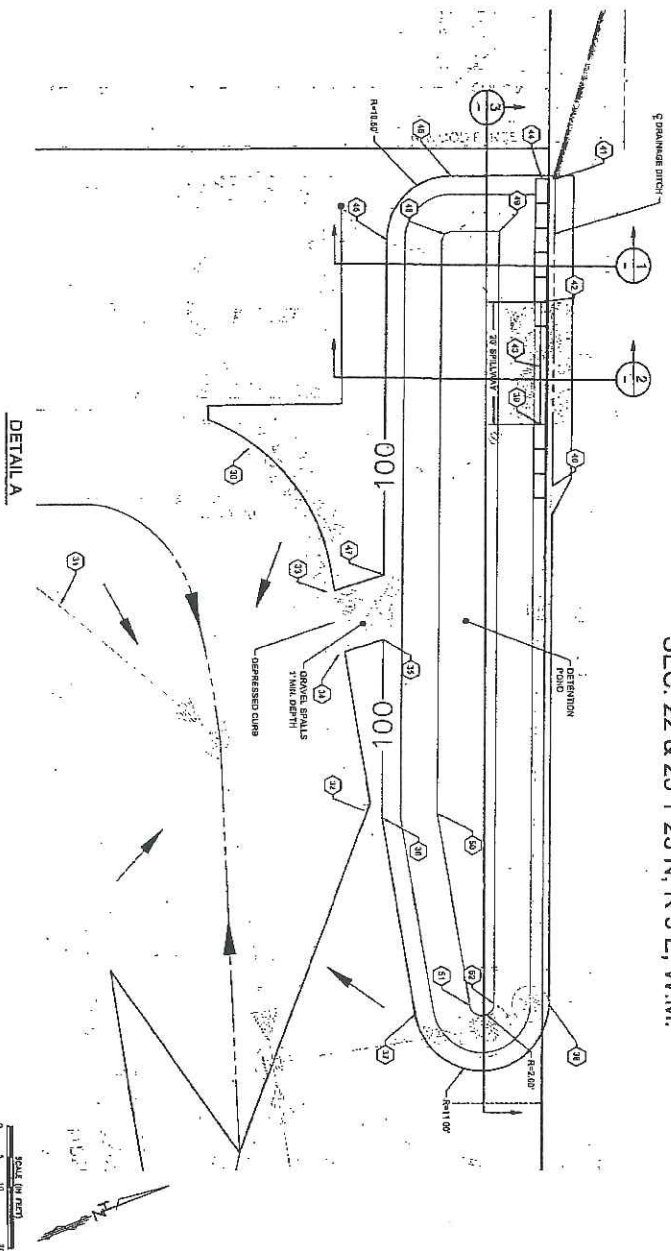
DRAWING NO.
CG101

SHEET: 2 of 7

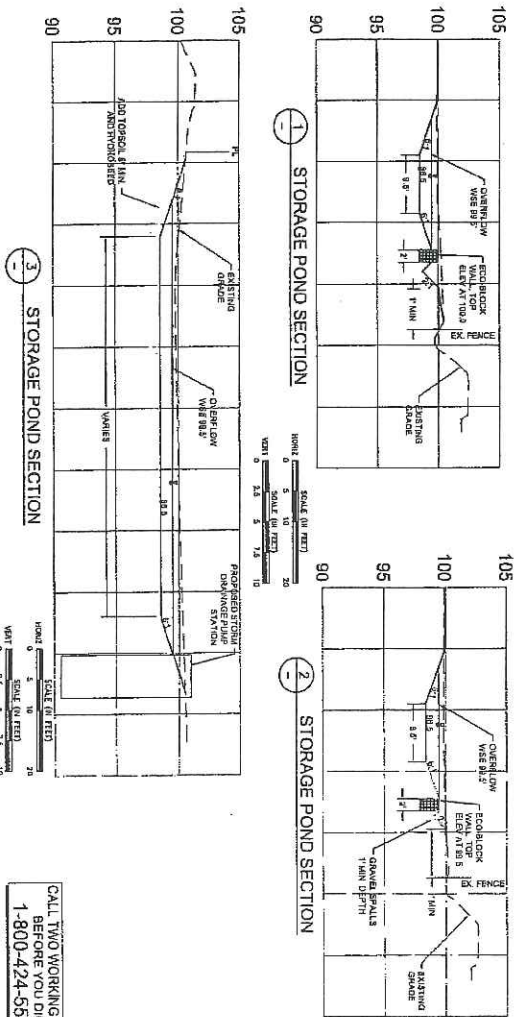
[illegible]

11 LIBIHX3

SEC. 22 & 23 T 23 N, R 5 E, W.M.



STATION	ELEVATION	DESCRIPTION
1	172834.09	EXISTING GRADE
2	172834.09	EXISTING GRADE
3	172834.09	EXISTING GRADE
4	172834.09	EXISTING GRADE
5	172834.09	EXISTING GRADE
6	172834.09	EXISTING GRADE
7	172834.09	EXISTING GRADE
8	172834.09	EXISTING GRADE
9	172834.09	EXISTING GRADE
10	172834.09	EXISTING GRADE
11	172834.09	EXISTING GRADE
12	172834.09	EXISTING GRADE
13	172834.09	EXISTING GRADE
14	172834.09	EXISTING GRADE
15	172834.09	EXISTING GRADE
16	172834.09	EXISTING GRADE
17	172834.09	EXISTING GRADE
18	172834.09	EXISTING GRADE
19	172834.09	EXISTING GRADE
20	172834.09	EXISTING GRADE
21	172834.09	EXISTING GRADE
22	172834.09	EXISTING GRADE
23	172834.09	EXISTING GRADE
24	172834.09	EXISTING GRADE
25	172834.09	EXISTING GRADE
26	172834.09	EXISTING GRADE
27	172834.09	EXISTING GRADE
28	172834.09	EXISTING GRADE
29	172834.09	EXISTING GRADE
30	172834.09	EXISTING GRADE
31	172834.09	EXISTING GRADE
32	172834.09	EXISTING GRADE
33	172834.09	EXISTING GRADE
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50	172834.09	EXISTING GRADE
51	172834.09	EXISTING GRADE
52	172834.09	EXISTING GRADE



CALL TWO WORKING DAYS BEFORE YOU DIG 1-800-424-5555

CONTRACTOR'S NOTES:

- CONTRACTOR SHALL RECORD ANY FIELD DEVIATION FROM ENGINEERING PLAN THESE RECORDS SHALL BE KEPT FOR EIGHT (8) YEARS AFTER COMPLETION OF PROJECT.
- THE CONTRACTOR SHALL VERIFY P.O.L. LOCATION, CORRECTION, ADJUSTMENT OF THE EXISTING UTILITY PRIOR TO CONNECTION OF NEW UTILITY.
- CONSTRUCTION, INCLUDING AND TYPING OF EVIDENCE REQUIRED SHALL BE INCLUDED IN WATER P.O.

JOB NO.: 1503201
DATE: 02/07/10
DESIGNED: KAL
DRAWN: DAF
CHECKED: DAF
SCALE: AS SHOWN
DRAWING NO.: CG102
SHEET: 3 of 7



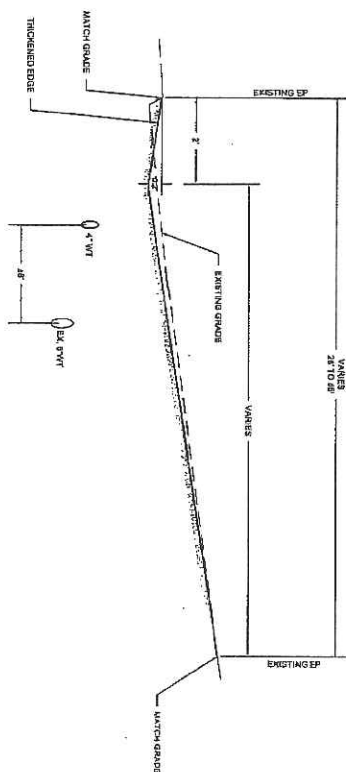
WONDERLAND ESTATES
GRADING PLAN AND SECTIONS

KING COUNTY HOUSING AUTHORITY

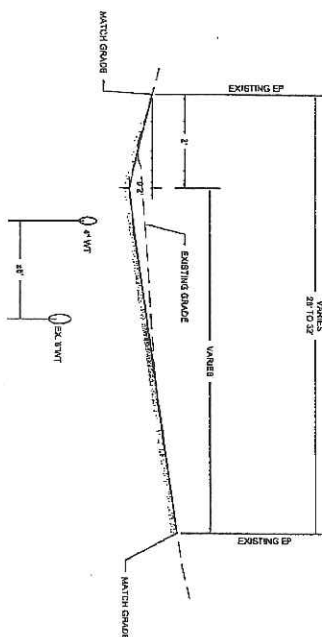
HUNT-ZOLARS
Seattle
2200 1st Avenue, Suite 100
Phone (206) 424-5500 Fax (206) 424-1000

NO.	REVISION	DATE

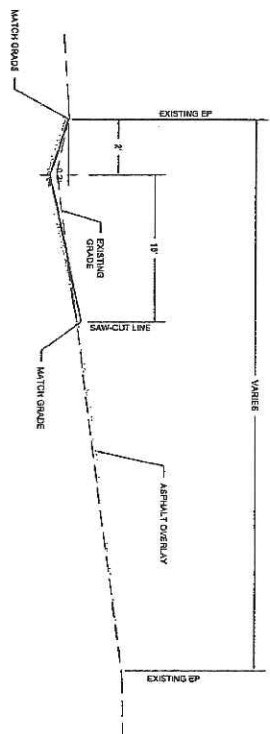
EXHIBIT 13



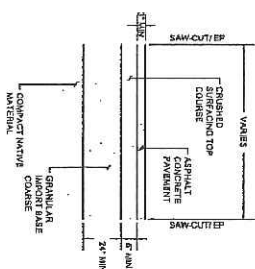
5 TYPICAL ROAD SECTION
N/S



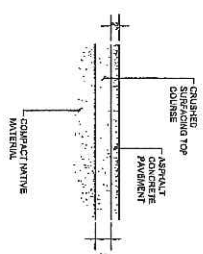
6 TYPICAL ROAD SECTION
N/S



7 TYPICAL ROAD SECTION
N/S



8 TYPICAL ROAD PAVING SECTION
N/S



9 TYPICAL DRIVEWAY PAVING SECTION
N/S

City of Renton
Planning Division

FEB - 6 2004

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WONDERLAND ESTATES
ROAD CROSS-SECTION DETAILS

KING COUNTY HOUSING AUTHORITY

HUETT-ZOLIARS
Seattle
174 East Pike Street
Seattle, Washington, 98122-3483
Phone (206) 324-5500 Fax (206) 324-5580



DESIGN: 1000001
DATE: 08/04/03
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN
DRAWING NO.: CG502
SHEET: 5 of 7

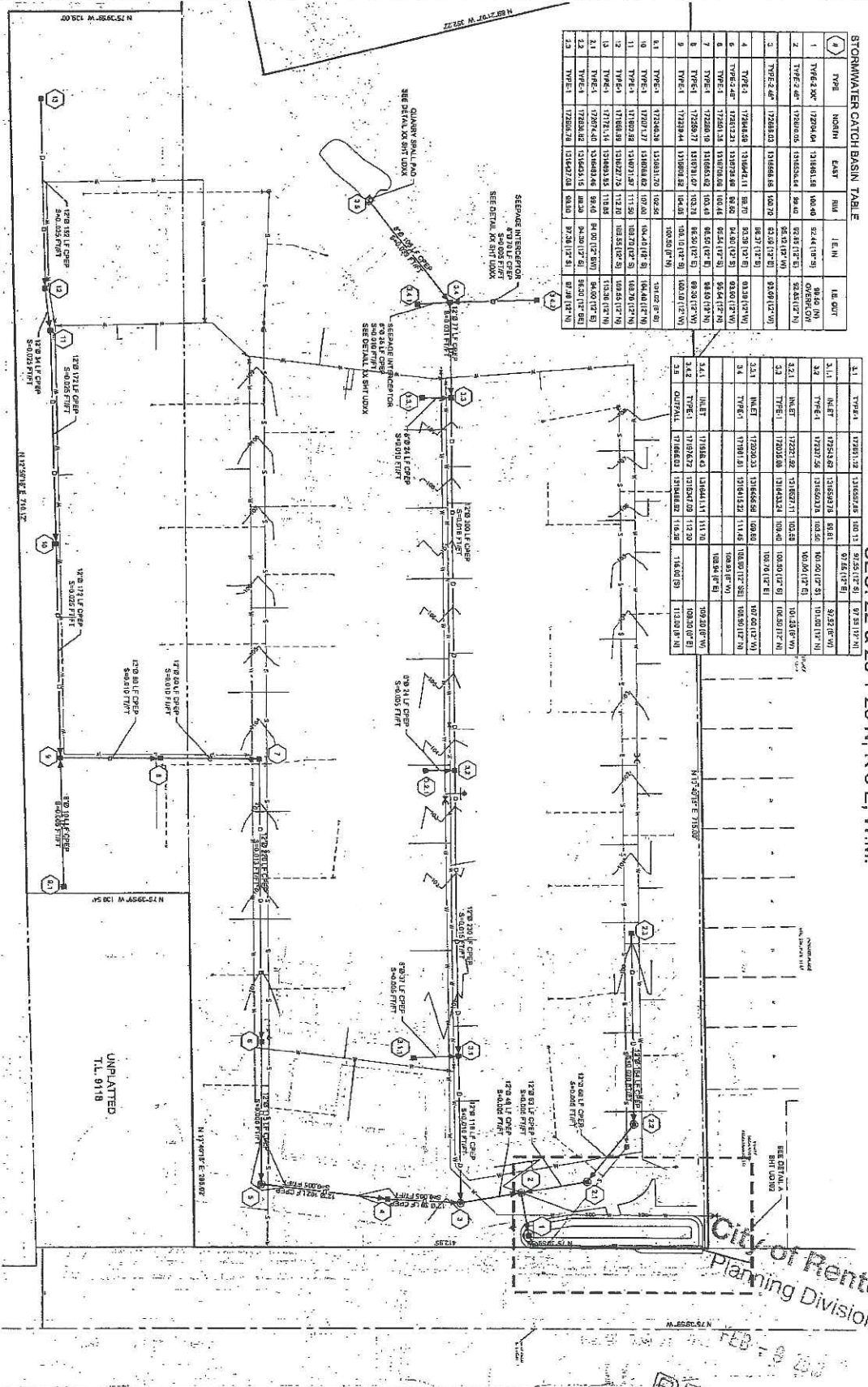
EXHIBIT

SEC. 22 & 23 T 23 N, R 5 E, W.M.

STORMWATER CATCH BASIN TABLE

1	TYPE	NO. IN	NO. OUT	IN (N)	OUT (N)
1	TYPE 1, 20' x 30'	12500.00	12500.00	12500.00	12500.00
2	TYPE 2, 40' x 30'	12500.00	12500.00	12500.00	12500.00
3	TYPE 3, 40' x 30'	12500.00	12500.00	12500.00	12500.00
4	TYPE 4, 40' x 30'	12500.00	12500.00	12500.00	12500.00
5	TYPE 5, 40' x 30'	12500.00	12500.00	12500.00	12500.00
6	TYPE 6, 40' x 30'	12500.00	12500.00	12500.00	12500.00
7	TYPE 7, 40' x 30'	12500.00	12500.00	12500.00	12500.00
8	TYPE 8, 40' x 30'	12500.00	12500.00	12500.00	12500.00
9	TYPE 9, 40' x 30'	12500.00	12500.00	12500.00	12500.00
10	TYPE 10, 40' x 30'	12500.00	12500.00	12500.00	12500.00
11	TYPE 11, 40' x 30'	12500.00	12500.00	12500.00	12500.00
12	TYPE 12, 40' x 30'	12500.00	12500.00	12500.00	12500.00
13	TYPE 13, 40' x 30'	12500.00	12500.00	12500.00	12500.00
14	TYPE 14, 40' x 30'	12500.00	12500.00	12500.00	12500.00
15	TYPE 15, 40' x 30'	12500.00	12500.00	12500.00	12500.00
16	TYPE 16, 40' x 30'	12500.00	12500.00	12500.00	12500.00
17	TYPE 17, 40' x 30'	12500.00	12500.00	12500.00	12500.00
18	TYPE 18, 40' x 30'	12500.00	12500.00	12500.00	12500.00
19	TYPE 19, 40' x 30'	12500.00	12500.00	12500.00	12500.00
20	TYPE 20, 40' x 30'	12500.00	12500.00	12500.00	12500.00

1	TYPE	NO. IN	NO. OUT	IN (N)	OUT (N)
1	TYPE 1, 20' x 30'	12500.00	12500.00	12500.00	12500.00
2	TYPE 2, 40' x 30'	12500.00	12500.00	12500.00	12500.00
3	TYPE 3, 40' x 30'	12500.00	12500.00	12500.00	12500.00
4	TYPE 4, 40' x 30'	12500.00	12500.00	12500.00	12500.00
5	TYPE 5, 40' x 30'	12500.00	12500.00	12500.00	12500.00
6	TYPE 6, 40' x 30'	12500.00	12500.00	12500.00	12500.00
7	TYPE 7, 40' x 30'	12500.00	12500.00	12500.00	12500.00
8	TYPE 8, 40' x 30'	12500.00	12500.00	12500.00	12500.00
9	TYPE 9, 40' x 30'	12500.00	12500.00	12500.00	12500.00
10	TYPE 10, 40' x 30'	12500.00	12500.00	12500.00	12500.00
11	TYPE 11, 40' x 30'	12500.00	12500.00	12500.00	12500.00
12	TYPE 12, 40' x 30'	12500.00	12500.00	12500.00	12500.00
13	TYPE 13, 40' x 30'	12500.00	12500.00	12500.00	12500.00
14	TYPE 14, 40' x 30'	12500.00	12500.00	12500.00	12500.00
15	TYPE 15, 40' x 30'	12500.00	12500.00	12500.00	12500.00
16	TYPE 16, 40' x 30'	12500.00	12500.00	12500.00	12500.00
17	TYPE 17, 40' x 30'	12500.00	12500.00	12500.00	12500.00
18	TYPE 18, 40' x 30'	12500.00	12500.00	12500.00	12500.00
19	TYPE 19, 40' x 30'	12500.00	12500.00	12500.00	12500.00
20	TYPE 20, 40' x 30'	12500.00	12500.00	12500.00	12500.00



LEGEND

- TYPE 1, 20' x 30'
- TYPE 2, 40' x 30'
- TYPE 3, 40' x 30'
- TYPE 4, 40' x 30'
- TYPE 5, 40' x 30'
- TYPE 6, 40' x 30'
- TYPE 7, 40' x 30'
- TYPE 8, 40' x 30'
- TYPE 9, 40' x 30'
- TYPE 10, 40' x 30'
- TYPE 11, 40' x 30'
- TYPE 12, 40' x 30'
- TYPE 13, 40' x 30'
- TYPE 14, 40' x 30'
- TYPE 15, 40' x 30'
- TYPE 16, 40' x 30'
- TYPE 17, 40' x 30'
- TYPE 18, 40' x 30'
- TYPE 19, 40' x 30'
- TYPE 20, 40' x 30'

NOTES

1. SEE DETAIL A SHUT DOWN FOR STRUCTURAL DETAILS.
2. SEE DETAIL B SHUT DOWN FOR STRUCTURAL DETAILS.
3. (VACANT)
4. SEE DETAIL C SHUT DOWN FOR STRUCTURAL DETAILS.
5. SEE DETAIL D SHUT DOWN FOR STRUCTURAL DETAILS.
6. SEE DETAIL E SHUT DOWN FOR STRUCTURAL DETAILS.
7. SEE DETAIL F SHUT DOWN FOR STRUCTURAL DETAILS.
8. SEE DETAIL G SHUT DOWN FOR STRUCTURAL DETAILS.
9. SEE DETAIL H SHUT DOWN FOR STRUCTURAL DETAILS.
10. SEE DETAIL I SHUT DOWN FOR STRUCTURAL DETAILS.
11. SEE DETAIL J SHUT DOWN FOR STRUCTURAL DETAILS.
12. SEE DETAIL K SHUT DOWN FOR STRUCTURAL DETAILS.
13. SEE DETAIL L SHUT DOWN FOR STRUCTURAL DETAILS.
14. SEE DETAIL M SHUT DOWN FOR STRUCTURAL DETAILS.
15. SEE DETAIL N SHUT DOWN FOR STRUCTURAL DETAILS.
16. SEE DETAIL O SHUT DOWN FOR STRUCTURAL DETAILS.
17. SEE DETAIL P SHUT DOWN FOR STRUCTURAL DETAILS.
18. SEE DETAIL Q SHUT DOWN FOR STRUCTURAL DETAILS.
19. SEE DETAIL R SHUT DOWN FOR STRUCTURAL DETAILS.
20. SEE DETAIL S SHUT DOWN FOR STRUCTURAL DETAILS.

CONTRACTOR'S NOTES

1. CONTRACTOR SHALL VERIFY ALL ELEVATIONS FROM CONSTRUCTION DRAWINGS AND TURNING OVER TO ENGINEER UPON COMPLETION OF PROJECT.
2. THE CONTRACTOR SHALL VERIFY, BY LENGTH, CONDITION, AND REPORT OF THE DRAINAGE AND PROPOSED CONNECTION AND REPORT ANY DISCREPANCIES TO ENGINEER PRIOR TO REQUIRED SHALL BE INCORPORATED INTO THE PROJECT.

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-424-5555

City of Renton
Planning Division
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FEB 10 2003

WONDERLAND ESTATES
STORM DRAINAGE PLAN

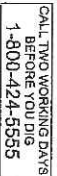
KING COUNTY HOUSING AUTHORITY

HUNT-ZOLIARS
Seattle, Washington, 98102-3853
Phone (206) 324-6500 Fax (206) 325-1550

NO.	REVISION	DATE

DRAWING NO.
UD101
SHEET: 6 of 7

City of Renton
Planning Division
FEB - 8 1995
RECEIVED



CONTRACTOR'S NOTES:

1. CONTRACTOR SHALL RECORD ANY FIELD DEVIATION FROM ENGINEERING DRAWINGS. THESE RECORDS SHALL BE KEPT ON CONSTRUCTION PLANS AND TURNED OVER TO ENGINEER UPON COMPLETION OF PROJECT.
2. THE CONTRACTOR SHALL VERIFY: DIA., LENGTH, CONDITION, PIPE TYPE, SLOPE AND VERTICAL, AND HORIZONTAL ALIGNMENT OF THE EXISTING UTILITY PRIOR TO CONNECTION AND REPORT ANY DISCREPANCIES TO ENGINEER PRIOR TO COMMENCING PILING AND TYPING OF SYSTEMS AS REQUIRED. SHALL BE INCLUDED IN BARE BID.

WONDERLAND ESTATES
STORM DRAINAGE DETAIL

KING COUNTY HOUSING AUTHORITY

HUITT-ZOLLARS
Huitt-Zollars, Inc. Seattle
814 East Pike Street
Seattle, Washington, 98122-3893
Phone (206) 324-5500 Fax (206) 326-1850

[illegible]

JOB NO.: 15093201
DATE: 02/08/10
DESIGNED: VUL
DRAFTED: MAF
CHECKED: DJH
SCALE: 1" = 10'
DRAWING NO. UD102
SHEET: 7 of 7

PLANNING DIVISION

CERTIFICATE OF EXEMPTION
FROM CRITICAL AREAS REGULATIONS
EVALUATION FORM & DECISION

DATE OF PERMIT ISSUANCE: June 4, 2010

LAND USE ACTION FILE NO.: LUA10-008, ECF, CAR

PROJECT NAME: Wonderland Estates Utility Replacement

PROJECT MANAGER: Vanessa Dolbee, (Acting) Senior Planner

OWNER: King County Housing Authority, 600 Andover Park West,
Seattle, WA 98188

APPLICANT: Hugh Watkinson, KCHA Construction Coordinator, King
County Housing Authority, 600 Andover Park West,
Tukwila, WA 98188

CONTACT: Don Helling, Huitt-Zollars, 814 East Pike Street, Seattle,
WA 98122

PROJECT LOCATION: 14645 SE Renton-Maple Valley Road

CRITICAL AREA: Category 3 Wetland Buffer

PROPOSAL DESCRIPTION: The applicant is requesting SEPA Environmental Review
and a Critical Areas Exemption for updates/replacement of the storm drainage facilities and
other utilities at the Wonderland Estates Mobile Home Park. As a part of the subject proposal,
the applicant would be resurfacing the exiting internal road system and replacing the storm
drainage system. The proposed improvements would result in minor impacts to the wetland
buffer including 1,680 square feet resurfacing of Oak Drive and Birch Drive and approximately
29 liner feet of storm drainage pipe replacement.

EXEMPTION JUSTIFICATION: Pursuant to *RMC 4-3-050C.5.e Roads, Parks, Public and
Private Utilities* of the Critical Areas Regulations is hereby granted:

May 12, 2010

Page 2 of 2

X	RMC 4-3-050C.5.e.ii exempts normal and routine maintenance, operation and repair of existing parks and trails, streets, roads, rights-of-way and associated appurtenances, facilities and utilities where no alteration or additional fill materials will be placed other than the minimum alteration and/or fill needed to restore those facilities to meet established safety standards. The use of heavy construction equipment shall be limited to utilities and public agencies that require this type of equipment for normal and routine maintenance and repair of existing utility structures and rights-of-way. In every case, critical area and required buffer impacts shall be minimized and disturbed areas shall be restored during and immediately after the use of construction equipment.
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FINDINGS: The proposed development is consistent with the following findings pursuant to RMC section 4-3-050C.5:

1. The activity is not prohibited by this or any other chapter of the RMC or state or federal law or regulation.
2. The activity will be conducted using best management practices as specified by industry standards or applicable Federal agencies or scientific principles if submitted plans are followed and the conditions of approval of this exemption are met.
3. Impacts will be minimized and disturbed areas will be immediately restored, if submitted plans are followed and the conditions of approval of this exemption are met.
4. Where wetland or buffer disturbance occurs during construction or other activities in accordance with this exemption, the site will be revegetated with native vegetation as required as a condition of approval for this exemption.

DECISION: An exemption from the critical areas regulations is **approved** for regular maintenance and repair of existing roads and utilities, listed above, within the wetland buffer.

SIGNATURE:

C.E. "Chip" Vincent, Planning Director
Planning Division

Date

APPEALS: Appeals of permit issuance must be filed with the City of Renton Hearing Examiner by 5:00 p.m. on March 26, 2010. Appeals must be filed in writing, together with the required fee to the City of Renton Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. City of Renton Municipal Code Section 4-8-110 governs appeals to the Hearing Examiner. Additional information regarding the appeal process may be obtained from the Renton City Clerk's Office, (425) 430-6510.

EXPIRATION: Five (5) years from the date of approval (signature date).